

Salisbury, North Carolina
August 02, 2022

REGULAR MEETING

PRESENT: Mayor Karen K. Alexander, Presiding; Mayor Pro Tem Tamara Sheffield, Council Members Harry McLaughlin, David Post, and Anthony Smith; City Manager Jim Greene, Jr, City Clerk Kelly Baker; and City Attorney J. Graham Corriher.

ABSENT: None.

Salisbury City Council met in Council Chambers in City Hall located at 217 South Main Street. The meeting was called to order by Mayor Alexander at 3:00 p.m. A moment of silence was taken.

PLEDGE OF ALLEGIANCE

Mayor Alexander led participants in the Pledge of Allegiance to the United States flag.

ADOPTION OF THE AGENDA

Thereupon, Councilmember Post made a **motion** to adopt the Agenda as presented. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

PROCLAMATIONS

Mayor to proclaim the following observances:

ANNE COGGIN DAY
CIVITAN CLUB OF SALISBURY CENTENNIAL MONTH

August 2, 2022
August 2022

Mayor Alexander asked Diversity, Equity and Inclusion (DEI) Director, Anne Little to provide an update on the National Night Out and Community Resource Fair.

Ms. Little stated the City will host National Night Out and the Community Resource Fair at Bell Tower Green tonight from 6:00 p.m. until 9:00 p.m. She stated the Community Resource Fair is a bi-annual event held in January and August that provides students with school supplies, games, food, and music.

CONSENT AGENDA

(a) **Minutes**

Approve Minutes of the special meeting of July 19, 2022 and the regular meeting of July 19, 2022.

(b) **Agreements – North Carolina Department of Transportation**

Authorize the City Engineer to accept agreements with North Carolina Department of Transportation concerning maintenance of signs (Schedule A), markings and markers (Schedule B), traffic signals (Schedule C), and the computerized traffic signal system (Schedule D).

(c) **Voluntary Annexation – 770 Earnhardt Road**

Receive the Certificate of Sufficiency for the voluntary annexation of 770 Earnhardt Road, Tax Map 058 Parcel 089, and adopt a Resolution setting the date of the public hearing for September 6, 2022.

RESOLUTION SETTING DATE OF PUBLIC HEARING ON QUESTION OF THE ANNEXATION OF 770 EARNHARDT ROAD, PARCEL 058 089 PURSUANT TO G.S. 160A-31.

(The above Resolution is recorded in full in Resolution Book No. 16 at Page No. 52-54, and is known as Resolution 2022-39.)

(d) **Voluntary Annexation – Stone Ridge North**

Receive the Certificate of Sufficiency for the voluntary annexation of Stone Ridge North, Tax Map 064 Parcel 00301000001, and adopt a Resolution setting the date of the public hearing for September 6, 2022.

RESOLUTION SETTING DATE OF PUBLIC HEARING ON QUESTION OF THE ANNEXATION OF STONE RIDGE NORTH, PARCEL 064 0030100001 PURSUANT TO G.S.160A-31.

(The above Resolution is recorded in full in Resolution Book No. 16 at Page No. 55-56, and is known as Resolution 2022-40.)

(e) Purchase Order – Badger Meter, Inc.

Authorize the City Manager to approve a purchase order for cellular data service for water meters from Badger Meter, Inc. in the amount of \$221,616. This is a budgeted expense that is required to operate and maintain Salisbury-Rowan Utilities advanced metering infrastructure system.

(f) Public Hearing

Set a public hearing for September 20, 2022, to consider the release of property owned by Rowan County and used for the Mid Carolina Regional Airport from the City's extraterritorial jurisdiction.

(g) Contract Payments and Blanket Purchase Orders

Authorize the City Manager to approve the following ongoing contract payments and blanket purchase orders totaling \$782,262.06 that were included in the FY2022-2023 budget:

- 230141 – Southdata – contract for Customer Service bill printing - \$110,400
- 230149 – Harris Computer Systems – Maintenance Agreement – Customer Service and Code Services billing software renewal - \$149,610.97
- 230150 – MTO, Inc. – contract for cleaning services at City facilities - \$138,359.25
- 230197 – Southern Truck Services – Sheriff's contract – Automatic Refuse Truck - \$383,89184

(h) Municipal Agreement – North Carolina Department of Transportation

Approve a municipal agreement with the North Carolina Department of Transportation in the amount of \$1,025,760, consisting of \$820,608 in Surface Transportation Program Block Grant program funds and a \$205,152 City match, for design and construction of safety improvements on Brenner Avenue between Jake Alexander Boulevard and Milford Hills Road.

Thereupon, Mayor Pro Tem Sheffield made a **motion** to adopt the Consent Agenda as presented. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

PUBLIC COMMENT

Mayor Alexander opened the floor to receive public comments.

Ms. Jane Smith-Steinberg expressed her support of installing an American flag at the Bell Tower Green Park.

Mr. Hercules Shannon stated if an American flag is installed at Bell Tower Green Park the flag should always appear on the viewers left.

Mr. John Struzick addressed Council on behalf of the Salisbury Police Foundation, and he thanked the Salisbury Police department for its service to the community. He also encouraged all citizens to attend National Night Out which promotes police and community partnerships.

Mr. Ronnie Smith addressed Council regarding the installation of an American flag at the Bell Tower Green Park. He also thanked Councilmember McLaughlin for attending the August 2, 2022 Veterans meeting. Mr. Smith requested the flag installation take place by Veterans Day, November 11, 2022.

Mr. Steven Arey expressed his support of placing an American flag pole at the Bell Tower Green Park and presenting it on Veterans Day.

Reverend Robert Drexler thanked veterans for their service. He expressed concern regarding the violence taking place in the City, and he added he hopes Police Chief Jerry Stokes and Council will work together to reduce crime in the City.

Mayor Alexander thanked everyone who expressed support in installing an American flag pole at the Bell Tower Green Park. She stated Council is working to establish a Bell Tower Green Advisory Committee. She added the committee would consist of seven members, four members from Bell Tower Green, Inc., and three community members. She explained Council will also appoint a liaison to represent Council on the committee.

There being no one else to address Council, Mayor Alexander closed the public comment session.

UPDATE – BELL TOWER GREEN ADVISORY COMMITTEE

Parks and Recreation Director Nick Aceves updated Council regarding the creation of the Bell Tower Green Advisory Committee. He stated a few applications had been received from Bell Tower Green, Inc. but community members are still needed to join the committee.

Mr. Aceves commented the role of the Bell Tower Green Advisory Committee includes promoting the park and seeking sponsorships and donations for the development of the park. He added the committee would also review and make recommendations on any changes needed while having the authority to receive funds on behalf of the City to benefit the park.

Mr. Aceves explained the Committee will include seven members and there are three open spots for community members. He commented membership will be staggered to avoid term limit issues.

Mr. Aceves stated the next steps include Council nominating all seven members preferably at the same Council meeting. He commented once all seven board members are appointed an inaugural meeting will be held.

Mayor Alexander asked Council to consider appointing Councilmember McLaughlin to serve as Council liaison on the Bell Tower Green Advisory Committee.

Thereupon, Mayor Pro Tem Sheffield made a **motion** to appoint Councilmember McLaughlin as Council liaison for the Bell Tower Green Advisory Committee. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers, Post, and Smith voted AYE. (4-0)

VOLUNTARY ANNEXATION AND REZONING – 1215 PEELER ROAD

Senior Planner Victoria Bailiff addressed Council regarding the voluntary annexation of 6.076 acres located at 1215 Peeler Road, Tax Map 408 Parcel 011, and adopting an Ordinance amending the Land Development District Map to rezone Tax Map 408 Parcel 011 and Tax Map 410 Parcel 128 totaling 8.88 acres from Light Industrial (LI) zoning and Rowan County Commercial Business Industrial to Highway Business (HB) with a Conditional District Overlay.

Ms. Bailiff displayed a map of the area and noted the site is located along Peeler Road just east of I-85. She added staff has followed State Statutes, and this is the final meeting regarding the annexation.

Ms. Bailiff stated the master plan accompanying the rezoning request proposes a gas station and a convenience store with pumps in the front, including additional pumps with truck parking in the rear. She added the only deviation from the Ordinance standards is that the master plan shows 45 more spaces than the Land Development Ordinance (LDO) allows. She stated Planning Board held a courtesy hearing on July 12, 2022, and voted unanimously to recommend approval.

Councilmember McLaughlin asked if any citizens expressed concerns regarding the proposed annexation. Ms. Bailiff noted no one had expressed concerns.

Mayor Alexander convened a public hearing after due notice regarding the voluntary annexation of 1215 Peeler Road.

There being no one to address Council, Mayor Alexander closed the public hearing.

Mayor Alexander convened a public hearing after due notice regarding the proposed Land Development District Map amendment.

Mr. Wes Hall stated he works with Sheetz as an engineering permit manager. He displayed site images and stated Sheetz is proposing a 6,872 square foot store building with 10 fueling positions, 39 parking spaces, five commercial diesel lanes, and 41 truck parking spaces. He thanked Council for its consideration of the application.

Mayor Alexander asked if the landscaping plan includes electric charging stations. Mr. Hall stated the idea had been considered, but typically the decision is made by Sheetz electric partners later in the process.

Mr. Nick Thornton spoke in support of the rezoning. He stated the Sheetz convenience store would benefit the community and future business prospects.

Fire Chief Bob Parnell addressed Council regarding the City's Insurance Services Office (ISO) rating, and the impact annexation has on fire services. He explained the City is rated in three critical areas including the water system, the 911 Radio System and the Fire Department.

Chief Parnell explained the Fire Department evaluation accounts for 50% of the inspection. He stated the City is currently rated by deployment meaning how quickly the department can get to an ongoing fire. He added the deployment model indicates the first fire engine is on-site within five minutes, and the second engine is on-site within nine minutes. He commented fire stations are strategically located and adequately placed to ensure those arrival times.

Chief Parnell stated another significant part of the ISO evaluation is staffing which details the number of firefighters that respond to a fire. He explained the assessment is a snapshot of the City on the day of evaluation, including the number of residential and industrial commercial buildings. He added that growth, whether inside the existing City limits or outside the current City limits through annexation, does impact the snapshot taken but does not constantly challenge the ISO rating. He clarified that growth through annexation brings the potential for additional resources and staffing needs for the Fire Department.

Councilmember Post asked if Fire Station 6 would be the closest fire station to the proposed annexed property. Chief Parnell agreed, and he noted the distance to the property is 1.1 miles.

Councilmember McLaughlin asked if growth could affect the ISO rating in the next few years. Chief Parnell commented without knowing where development could take place, it could potentially change. He added staff will continue to update Council.

City Manager Jim Greene stated the Planning Department does an excellent job coordinating with other City departments to review potential impacts.

There being no one else to address Council, Mayor Alexander closed the public hearing.

Thereupon, Councilmember Post made a **motion** to adopt an Ordinance to extend the corporate limits of the City of Salisbury, North Carolina, to include 6.076 acres, Tax Map 408 Parcel 011, located at 1215 Peeler Road. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE CITY OF SALISBURY, NORTH CAROLINA, TO INCLUDE 6.076 ACRES, TAX MAP 408 PARCEL 011, LOCATED AT 1215 PEELER ROAD.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 162-163, and is known as Ordinance 2022-57.)

Councilmember Post stated the City Council hereby finds and determines that adoption of an Ordinance to rezone the properties described herein is reasonable and in the public interest. The proposal is fundamentally consistent with the goals, objectives, and policies of the Vision 2020 Comprehensive Plan. Therefore, Mr. Post make a **motion** to adopt an Ordinance amending the Land Development District Map of the City of Salisbury, North Carolina, rezoning 1215 Peeler Road, approximately 8.88 acres, Tax Map 408 Parcel 011 and Tax Map 410 Parcel 128 from City of Salisbury Light Industrial zoning and Rowan County Commercial Business Industrial zoning to City of Salisbury Highway Business zoning with a Conditional District Overlay upon annexation. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE AMENDING THE LAND DEVELOPMENT DISTRICT MAP OF THE CITY OF SALISBURY, NORTH CAROLINA, REZONING 1215 PEELER ROAD, APPROXIMATELY 8.88 ACRES, TAX MAP 408 PARCEL 011 AND TAX MAP 410 PARCEL 128 FROM CITY OF SALISBURY LIGHT INDUSTRIAL ZONING AND ROWAN COUNTY COMMERCIAL BUSINESS INDUSTRIAL ZONING TO CITY OF SALISBURY HIGHWAY BUSINESS ZONING WITH A CONDITIONAL DISTRICT OVERLAY UPON ANNEXATION.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 164-165, and is known as Ordinance 2022-58.)

VOLUNTARY ANNEXATION AND REZONING – 1465 PEELER ROAD

Senior Planner Victoria Bailiff addressed Council regarding the voluntary annexation of 43.1067 acres located at 1465 Peeler Road, Tax Map 406 Parcel 024 and Tax Map 410 Parcels 034 and 003, and adopting an Ordinance amending the Land Development District Map to rezone the parcels from Rowan County Rural Agricultural zoning to City of Salisbury Light Industrial (LI) zoning. She displayed a map of the area and noted the site is located on the southern side of Peeler Road to the east of I-85.

Ms. Bailiff stated this is a proposed general use rezoning request and does not include a site plan. She reviewed the allowable uses including office, service, and retail, and she noted the uses are limited mainly to those involving automobiles and equipment. She commented uses listed in recreation, manufacturing, and transportation are also permitted. She pointed out the proposal is consistent with the Vision 2020 Comprehensive Plan, specifically Policy I-8. She added the Planning Board held a courtesy hearing on July 12, 2022, and voted unanimously to recommend approval.

Councilmember Post inquired about the proposed Innovation Logistics Center planned for the site. Ms. Bailiff stated the applicant from Crow Holdings Industrial will be able to provide an overview.

Mayor Alexander convened a public hearing after due notice regarding the voluntary annexation of 1465 Peeler Road.

There being no one to address Council, Mayor Alexander closed the public hearing.

Mayor Alexander convened a public hearing after due notice regarding the proposed Land Development District Map amendment.

Mr. Nick Thornton with Crow Holdings Industrial addressed Council regarding the proposed rezoning. He stated the first plan for Innovation Logistics Center Site 1 is a 710,000 square foot speculative building to be used for manufacturing and distribution.

Councilmember Post asked about the proposed building's square footage. Mr. Thornton stated the Site 2 building would be approximately 470,000 square foot.

Mr. Wes Hall spoke in favor of the proposed rezoning. He stated Crow Holdings Industrial has been an excellent partner with Sheetz and would be an excellent partner with the City.

There being no one else to address Council, Mayor Alexander closed the public hearing.

Thereupon, Mayor Pro Tem Sheffield made a **motion** to adopt an Ordinance to extend the corporate limits of the City of Salisbury, North Carolina, to include 43.1067 acres, Tax Map 406 Parcel 024 and Tax Map 410 Parcels 003 and 034, located at 1465 Peeler Road. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE CITY OF SALISBURY, NORTH CAROLINA, TO INCLUDE 43.1067 ACRES, TAX MAP 406 PARCEL 024 AND TAX MAP 410 PARCELS 003 AND 034, LOCATED AT 1465 PEELER ROAD.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 166-167, and is known as Ordinance 2022-59.)

Councilmember Smith stated the City Council hereby finds and determines that adoption of an Ordinance to rezone the properties described herein, as requested, is consistent with the goals, objectives, and policies of the Vision 2020 Comprehensive Plan due to the proposed petition, site characteristics, surrounding development pattern, and observations provided by City planning staff, identifying the policies that support the petition. Thereupon Mr. Smith, made a **motion** to adopt an Ordinance amending the Land Development District Map of the City of Salisbury, North Carolina, rezoning Tax Map 410 Parcels 003 and 034 and Tax Map 406 Parcel 024 from Rowan County Rural Agricultural zoning to City of Salisbury Light Industrial zoning approximately 42.823 acres upon annexation. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

Councilmember Post asked if representatives from Southeast Middle School had expressed concern regarding the proposal. Ms. Bailiff commented staff has not received any complaints at this time.

Mayor Alexander asked if the North Carolina Department of Transportation (NCDOT) is involved with the required traffic patterns and turning lanes. Ms. Bailiff confirmed this is a NCDOT road that requires a driveway permit.

ORDINANCE AMENDING THE LAND DEVELOPMENT DISTRICT MAP OF THE CITY OF SALISBURY, NORTH CAROLINA, REZONING TAX MAP 410 PARCELS 003 AND 034 AND TAX MAP 406 PARCEL 024 FROM ROWAN COUNTY RURAL AGRICULTURAL ZONING TO CITY OF SALISBURY LIGHT INDUSTRIAL ZONING APPROXIMATELY 42.823 ACRES UPON ANNEXATION.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 168 and is known as Ordinance 2022-60.)

VOLUNTARY ANNEXATION AND REZONING – MAJOLICA ROAD

Senior Planner Victoria Bailiff addressed Council regarding a voluntary annexation and rezoning in the 900 block of Majolica Road. She commented the proposed annexation is contiguous to the City limits and water and sewer lines are located in the right-of-way. She pointed out the sewer line will need to be extended when the property is developed. She stated the total area to be annexed is 31.083 acres.

Ms. Bailiff stated Tar Heel Legacy, LLC is the petitioner for the rezoning, and the request is to rezone one parcel located in the 900 block of Majolica Road from Rowan County Residential Agricultural zoning to City of Salisbury General Residential (GR-3) zoning. She reviewed the surrounding zoning, and she noted the property is cleared and slopes gradually to the west.

Ms. Bailiff explained the request is for a general use rezoning and there are no conditions or site plan to accompany the application. She indicated there are no Vision 2020 Comprehensive Plan policies that address a map amendment of this nature and staff is recommending approval. She noted Planning Board considered the request at its May 24, 2022 meeting and voted unanimously to recommend approval as submitted stating that the map amendment is consistent with the Vision 2020 Comprehensive Plan.

Mayor Alexander convened a public hearing after due notice regarding the voluntary annexation of Majolica Road.

There being no one to address Council, Mayor Alexander closed the public hearing.

Mayor Alexander convened a public hearing after due notice regarding the proposed Land Development District Map amendment.

Mr. Mark Carpenter stated the request is for a general rezoning, and he noted a builder has not been selected for the project. He added the goal is to provide affordable housing to Salisbury and Rowan County citizens.

There being no one else to address Council, Mayor Alexander closed the public hearing.

Thereupon, Mayor Pro Tem Sheffield Post made a **motion** to adopt an Ordinance to extend the corporate limits of the City of Salisbury, North Carolina, to include 31.083 acres, Tax Map 451 Parcel 227 located on Majolica Road. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE CITY OF SALISBURY, NORTH CAROLINA, TO INCLUDE 31.083 ACRES, TAX MAP 451 PARCEL 227 LOCATED ON MAJOLICA ROAD.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 169-170, and is known as Ordinance 2022-61.)

Councilmember Post stated the City Council hereby finds and determines that adoption of an Ordinance to rezone the properties described herein, as requested, is consistent with the goals, objectives, and policies of the Vision 2020 Comprehensive Plan due to the proposed petition, site characteristics, surrounding development pattern, and observations provided by City planning staff, identifying the policies that support the petition. Thereupon Mr. Post, made a **motion** to adopt an Ordinance amending the Land Development District Map of the City of Salisbury, North Carolina, rezoning Tax Map 451 Parcel 227 from Rowan County Rural Agricultural zoning to City of Salisbury General Residential 3 zoning approximately 31.083 acres upon annexation. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE AMENDING THE LAND DEVELOPMENT DISTRICT MAP OF THE CITY OF SALISBURY, NORTH CAROLINA, REZONING TAX MAP 451 PARCEL 227 FROM ROWAN COUNTY RURAL AGRICULTURAL ZONING TO CITY OF SALISBURY GENERAL RESIDENTIAL ZONING APPROXIMATELY 33.22 ACRES UPON ANNEXATION.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 171 and is known as Ordinance 2022-62.)

REZONING – 900 BLOCK OF PEELER ROAD

Senior Planner Victoria Bailiff addressed Council regarding a request to rezone two parcels located along the 900 block of Peeler Road from Rowan County Commercial Business Industrial zoning to City of Salisbury Highway Business (HB) zoning. She stated the proposed rezoning is City initiated, and she explained when the property was annexed into the City it was not assigned a zoning district.

Ms. Bailiff stated two properties are included in the proposed rezoning located at 985 Peeler Road. She noted the total acreage is approximately 8.87 acres and the property is relatively flat. She reviewed the surrounding zonings, and she pointed out adjacent properties to the north and east are undeveloped, the I-85 right-of-way is adjacent to the south, and the properties to the west are undeveloped or used for residential purposes.

Ms. Bailiff explained the request is for a general use rezoning and there are no conditions or site plan to accompany the application. She noted there are no specific policies from the Vision 2020 Comprehensive Plan that address a map amendment of this nature and staff recommends approval. She noted Planning Board considered the request at its July 12, 2022 meeting and voted unanimously to recommend approval as submitted stating that the map amendment is consistent with the Vision 2020 Comprehensive Plan.

Mayor Alexander convened a public hearing after due notice regarding the proposed Land Development District Map amendment.

There being no one to address Council, Mayor Alexander closed the public hearing.

Councilmember McLaughlin stated the City Council hereby finds and determines that adoption of an Ordinance to rezone the properties described herein, as requested, is consistent with the goals, objectives, and policies of the Vision 2020 Comprehensive Plan due to the proposed petition, site characteristics, surrounding development pattern, and observations provided by City planning staff, identifying the policies that support the petition. Thereupon, Mr. McLaughlin made a **motion** to adopt an Ordinance amending the Land Development District Map of the City of Salisbury, North Carolina, rezoning Tax Map 408 Parcels 024 and 089 from Rowan County Commercial Business Industrial zoning to City of Salisbury Highway Business zoning approximately 8.87 acres. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE AMENDING THE LAND DEVELOPMENT DISTRICT MAP OF THE CITY OF SALISBURY, NORTH CAROLINA, REZONING TAX MAP 408 PARCELS 024 AND 089 FROM ROWAN COUNTY COMMERCIAL BUSINESS INDUSTRIAL ZONING TO CITY OF SALISBURY HIGHWAY BUSINESS ZONING APPROXIMATELY 8.87 ACRES.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 172 and is known as Ordinance 2022-63.)

VOLUNTARY ANNEXATION – THE GABLES AT KEPLEY FARMS, PHASE 6

City Engineer Wendy Brindle addressed Council regarding a request for the voluntary annexation of The Gables at Kepley Farms, Phase 6. She displayed a map of the area, and she pointed out Phase 6 and its proximity to Faith Road. She indicated the proposed annexation is a satellite annexation, and she noted the other five phases are inside the City limits. She pointed out the area to be annexed is approximately 4.39 acres and will create 10 single-family subdivision lots. She added staff has followed State Statutes and this is the final step in the annexation process.

Mayor Alexander convened a public hearing after due notice regarding the voluntary annexation of The Gables at Kepley Farms, Phase 6.

There being no one to address Council, Mayor Alexander closed the public hearing.

Thereupon, Mayor Pro Tem Sheffield made a **motion** to adopt an Ordinance to extend the corporate limits of the City of Salisbury, North Carolina, to include 4.39 acres, Tax Map 403 Parcel 192, The Gables at Kepley Farms, Phase 6. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE CITY OF SALISBURY, NORTH CAROLINA, TO INCLUDE 4.39 ACRES, TAX MAP 403 PARCEL 192, THE GABLES AT KEPLEY FARMS, PHASE 6.

(The above Ordinance is recorded in full in Ordinance Book No. 30 at Page No. 173-174, and is known as Ordinance 2022-64.)

UPDATE – POLICE DEPARTMENT

City Manager Jim Greene recognized Police Chief Jerry Stokes and the Police Department for all it does to keep citizens safe. He pointed out the past two weeks have been extremely stressful, and he thanked the Police Department for working closely with the neighborhoods and the victims of gun violence. He noted staff is committed to making Salisbury the safest community it can be.

Chief Stokes reviewed current staffing levels, and he pointed out the Police Department is 83% staffed and has 69 filled positions and 13 vacancies. He stated he has one officer on military deployment and three officers on light duty which affects the number of police officers on the streets. He reviewed the demographics of the Police Department, and he referenced a study by the Justice Standards Commission which found the Police Department's demographics are good when compared to state-wide demographics and community reflections.

Chief Stokes noted of the 82 new hires since 2016, 47 were sent to Basic Law Enforcement Training (BLET) and 31 hires, or 64%, are still with the Police Department. He stated of the 82 hires since 2016 50 hires, or 61%, are still with the Police Department. He reviewed hiring demographics for 2021 and 2022, and he noted half of the new hires were minority candidates.

Chief Stokes then reviewed the turnover rate since 2016, and he explained the average turnover is 14.3% and the turnover for 2022 is currently at 9.6%. He stated there have been eight separations this year. He stated recruiting and retention efforts included a sign-on bonus of \$5,000 for lateral police officers and a \$750 sign-on bonus for trainees with no experience. He indicated the sign-on bonus changed on July 1, 2022 to \$2,000 for lateral police officers and \$2,000 for trainees. He stated Winston-Salem Police Department implemented a \$10,000 sign on bonus for lateral police officers, Iredell Sheriff's Department implemented a \$2,500 sign-on bonus and Charlotte-Mecklenburg Police Department implemented a \$7,500 sign-on bonus. He referenced an article from the Charlotte Business Regional Alliance Report that found the lack of qualified applicants as the main reason for hiring problems in the business world, and he added it is also a problem for the Police Department. He reviewed 2022 new officer pay rates for surrounding area departments, and he pointed out the City's starting pay for police officers is \$42,754.

Chief Stokes referenced crime statistics through June 2022, and he pointed out homicides were down by 43%, aggravated assaults were down 10%, assaults with guns were down 31%, and shooting into occupied dwellings decreased by 17%, which reduced total violent crime by 15%. He noted an increase in commercial burglary and arson. He stated overall crime is down 1%, and he pointed out increases are primarily larceny from motor vehicle and motor vehicle thefts. He commented larceny from motor vehicle includes guns stolen from motor vehicles.

Chief Stokes reviewed gun crime for the first six months of 2022, and he pointed out reductions in robbery with a firearm and assault with a gun, and an increase in shooting into an occupied dwelling.

Chief Stokes stated opioid overdoses continue to be an issue, and he noted known overdoses in the first six months of 2021 were at 99 and in 2022 the number has risen to 115. He pointed out during the first six months of 2021 there were 10 overdose deaths and in the first six months of 2022 there have been 16 overdose deaths which is a 60% increase. He reviewed a map of reported overdoses hot spots and drug arrests, and he pointed out the majority takes place along Innes Street between Main Street and I-85 which includes a heavy concentration of homeless individuals.

Councilmember Post referenced Walmart as a location for drugs and crime, and he asked if it is at all Walmart stores. Chief Stokes stated Walmart stores are huge call generators and in Salisbury Walmart is responsible for approximately 80% of shoplifting arrests.

Councilmember Smith asked how many of the 115 overdoses that have taken place in 2022 were homeless individuals. Chief Stokes noted staff would provide the information to Council. Councilmember McLaughlin asked about the percentage of homeless individuals that have mental health issues. Chief Stokes stated mental health can be a contributing factor for homelessness and drug abuse. He explained the chronic homeless are usually people with mental health issues and substance abuse problems.

Councilmember McLaughlin asked if there are programs available that specialize in homeless individuals with mental health issues. Chief Stokes indicated the United Way is working to leverage funds for a detox center in Rowan County. He explained the Police Department cannot take custody of someone who has a mental health condition unless they are a danger to themselves or others. He stated when someone has a mental health crisis and are a danger to themselves or others they are transported to the emergency room. He added when someone has an accidental overdose there is no legal means to get them help. He added the Health Department's Post Overdose Response Team (PORT) follows up with those who experience an overdose.

Mayor Pro Tem Sheffield asked if there are health care partners, other than the emergency room, that could address mental illness or if that would be part of the overdose facility. Chief Stokes noted a mental health facility has to be secure and is different from a detox situation. He pointed out Rowan County lacks resources for mental health crisis response.

Mayor Pro Tem Sheffield stated the City is a release point for prisoners, and she asked about the impact on the City. Chief Stokes indicated it has not been an issue. He noted Rowan County had a re-entry program in the past and the lack of programming is a concern.

Chief Stokes reviewed the events that took place on July 23, 2022 and July 24, 2022, noting five shootings took place within 10 hours. He stated the shootings are under investigation.

Chief Stokes reviewed crime data through July 2022, and he explained the FBI and the state determine the way data is reported. He pointed out there are challenges with the events that have taken place including a lack of cooperation from victims, suspects, and witnesses. He indicated the events are not random and traditionally violent crimes, particularly gun crimes, are gang related. He added the Police Department has worked to improve its gang intelligence gathering capacity, and he stated a detective working violent crime was pulled to work exclusively on gang intelligence information.

Chief Stokes noted the Police Department has staffing challenges and a heavy work load. He stated last year the Police Department answered over 35,000 calls and at times calls go unanswered due to a lack of capacity. He pointed out the Sheriff's Department offers assistance, but it has its own work load. He noted the Police Department provides services such as unlocking cars and funeral escorts and the department must be careful regarding the types of calls to which it responds. He suggested increasing technology and analytics support be explored along with determining duties that can be carried out by civilians.

Chief Stokes stated officer safety is a concern. He pointed out the incidents that took place on July 23, 2022 and July 24, 2022 involved assault rifles and the officers who respond may not have assault rifle rated body armor. Chief Stokes noted the number of police officers with Crisis Intervention Training has decreased from 80% to approximately 50%. He indicated the Police Department does not provide enough scenario based firearms and weapons training, and he explained when police officers are comfortable with their weapons they are less likely to overreact when using them.

Chief Stokes pointed out the average person will experience 2.4 crises or traumatic events in their life time and on average law enforcement officers experience 188 critical incidents during their career. He commented the job is very stressful and police officers must manage the stress associated with the job.

Chief Stokes referenced the Byrne Criminal Justice Innovation grant objectives, and he noted surveys found code enforcement activity is needed to reduce the overgrown grass and weeds, accumulated trash, abandoned cars, and other environmental issues. He added there is an absentee landlord problem in the City, particularly in crime prone areas, and problem homes that need to be addressed.

Councilmember Smith noted Council must support police officer wellness. He pointed out social and economic inequality is a root causes of violence and a broader approach is needed. He added he is hopeful the City can deepen its connections with the County, and he thanked the Police Department for all it does to keep citizens safe.

Mayor Alexander thanked Chief Stokes for his leadership and his presentation, and she recognized the Police Department for its response to recent events. She added Council supports the Police Department and the work it does in the community.

CHANGES TO THE AGENDA

Mayor Alexander requested Council consider postponing the Transit Update and City Attorney's Report due to National Night Out events taking place at Bell Tower Green Park.

Thereupon, Councilmember Post made a **motion** to amend the Agenda to delay item 15 and item 16 until Council's August 16, 2022 meeting. Mayor Alexander, Mayor Pro Tem Sheffield, Councilmembers McLaughlin, Post, and Smith voted AYE. (5-0)

UPDATE – MICROTRANSIT

This item was postponed

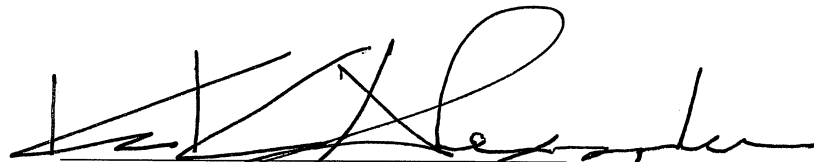
CITY ATTORNEY'S REPORT

This item was postponed

ADJOURNMENT

Motion to adjourn the meeting was made by Councilmember Post. Mayor Alexander, Mayor Pro Tem Sheffield and Councilmembers McLaughlin, Post and Smith voted AYE. (5-0)

The meeting was adjourned at 6:02 p.m.



Karen Alexander, Mayor



Kelly Baker, City Clerk